



# Brown's Home Inspections Ltd. (License # 352839)

12 Laurier Pl NW

Edmonton, AB T5R 5P4

(780) 686-9032

[brownshomeinspections.com](http://brownshomeinspections.com)

[dustin@brownshomeinspections.com](mailto:dustin@brownshomeinspections.com)

Inspected By: Dustin Brown (License # 352841)



## Home Inspection Report

Prepared For:

**Unspecified Client**

Property Address:

**Edmonton, AB**

Inspected on Wed, Nov 17 2021 at 1:30 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

#### DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Marginal:** At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

**Repair or Replace:** At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

**Further Evaluation:** The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

# General

Client's Signature:



Property Type:	Single Family
Stories:	Two
Age Based On:	Listing
Approximate Age:	1979
Bedrooms/Baths:	6 Bedroom / 4 Bathrooms
Door Faces:	West
Furnished:	Yes
Occupied:	No
Weather:	Sunny
Temperature:	-4*C
Soil Condition:	Snow, Frozen
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client, Buyer's Agent

# Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector cannot accurately predict the performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather.

Inspection of foundation performance and water handling systems is limited to visible conditions and evidence of past problems only. Buyer is advised to ask of disclosure information about drainage failure in the past.

### Maintenance Tip:

Periodically review grading to ensure proper drainage as landscaping changes over time. For correct drainage around the home all sides would slope away from the home, this assists in preventing water from sitting at the foundation wall.

### FENCE

### Maintenance Tip:

Re-sealing external wood will prolong its life span.

Site Grading:

Unknown, snow covered

Condition: Further Evaluation Required



(Site continued)

Vegetation:

Growing Against Structure  
Condition: Repair or Replace



Comment 1:

Vegetation is growing against the structure which can cause premature wear and tear against the structural building and roof. Recommend the bushes be trimmed back from the structure.



Figure 1-1



Figure 1-2



Figure 1-3

(Site continued)

Driveway:

Unknown snow covered

Condition: Further Evaluation Required



Walkways:

Unknown, covered with snow

Condition: Further Evaluation Required



(Site continued)

Steps/Stoops:

Concrete with tile overlaid with roll on coating.  
Condition: Satisfactory



Patios/Decks:

Unknown, snow covered  
Condition: Further Evaluation Required



Fencing:

Wood, Brick  
Condition: Repair or Replace

(Site continued)



Comment 2:

The fence is near its end of its life. There are brick columns near falling over if pushed on and there are sections of wood that are in need of repair.



Figure 2-1



Figure 2-2



Figure 2-3



# Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected.

The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

## EXTERIOR FAUCETS

### Maintenance Tip: Winterizing

During the months of Oct/Nov we strongly suggest you winterize all external faucets, to prevent freezing.

Step 1: Locate all outside faucets. There is normally a separate shutoff valve inside for each outside faucet.

Step 2: Locate Inside Shutoff Valves- Locate shutoff valves inside for each outside faucet. Inside valves have similar handles but may be painted different colors. Inside valves will also have a small cap used for draining excess water from the pipe to the outside faucet.

Step 3: Turn Off Water- Turn off water at inside valves by turning handle clockwise.

(Exterior continued)

Next, open outside water faucets. Drain excess water inside by opening drain cap with pliers, holding pail underneath to catch water. When water stops draining, close drain cap and snug slightly (Do Not Over-tighten!) with pliers. Close outside water faucets.

Exterior Covering: Brick, Stucco  
Condition: Repair or Replace



**Comment 3:**

The brick on the house is a veneer however it is very heavy. The bottom left and bottom right and above the garage door has started to crumble and is missing bricks in spot. This needs to be repairs immediately to prevent moisture intrusion, further spalling and separation of the brick veneer.



Figure 3-1



Figure 3-2

(Exterior continued)



Figure 3-3



Figure 3-4



Figure 3-5

(Exterior continued)



**Comment 4:**

The keystone brick is loose in the Center; this holds the entire arch together. Without this properly sound the brick can fall out injuring someone and cause a collapse of the arc; recommend immediate repair.

Upper left applies as well.



Figure 4-1



Figure 4-2



**Comment 5:**

The brick to the upper right of the door has cracked through the brick and not around the brick in the mortar joint; this indicates a structural shift in the brick veneer; recommend repair from a brick mason.

(Exterior continued)



Figure 5-1



Figure 5-2

Exterior Trim Material:

Wood

Condition: Marginal

Windows:

Wood

Condition: Repair or Replace



Comment 6:

Maintenance Tip:

In the colder season frost and build up can occur along windows from poor air flow, it is helpful to open up curtains and blinds often to allow proper air flow to minimize frost build up.



Comment 7:

I have taken one photo to represent the condition of the exterior of the wood windows. Though not rotten, all windows need to be scraped and painted to prevent further damage and moisture intrusion.

(Exterior continued)



Figure 7-1

Balconies:

Wood

Condition: The balcony is snow covered; recommend further evaluation once it isn't snow covered.



(Exterior continued)



Comment 8:

The handle to the vent window is loose and coming off.



Figure 8-1

Railings:

Metal

Condition: Satisfactory

Gas Meter:

Rear

Condition: Satisfactory



(Exterior continued)

Exterior Faucet Location: Left side, Not tested due to weather  
Condition: Further Evaluation Required

Electrical GFCI / ARC FAULT: Yes  
Condition: Satisfactory

---



**Comment 9:**

The metal lintel above the front door and garage door is starting to rust; recommend painting to prevent just from occurring and compromising the steel lintels.



Figure 9-1



Figure 9-2



**Comment 10:**

The right pillar has shifted and sunk which has caused the brick to pull away from the house; this is a safety concern and could fall on someone; recommend immediate repair.

(Exterior continued)



Figure 10-1

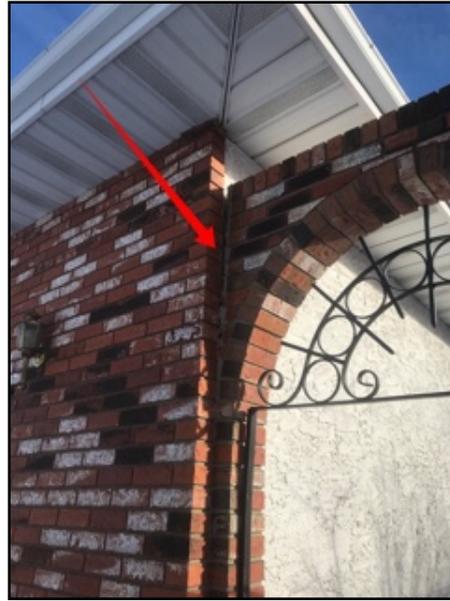


Figure 10-2



Figure 10-3

(Exterior continued)



**Comment 11:**

The se corner of the garage has had repair to it. There is a hole right below where the footing should be which suggests there can be structural movement below. Some repair has been attempted but it has not held together; recommend further proper repair.



Figure 11-1



Figure 11-2

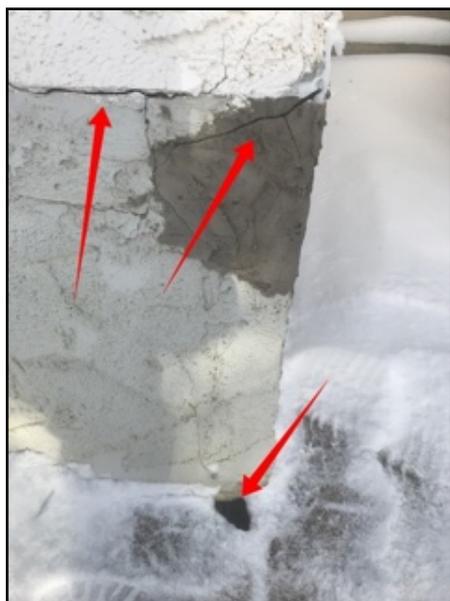


Figure 11-3

(Exterior continued)



Comment 12:  
Recommend caulking to prevent moisture intrusion.



Figure 12-1



Figure 12-2



Figure 12-3

(Exterior continued)

 **Comment 13:**  
I have provided a sample of the cracks in the parging around the house;  
recommend repair of the parging to prevent moisture intrusion.



Figure 13-1



Figure 13-2



Figure 13-3

(Exterior continued)



**Comment 14:**

The stucco has been painted over at some point in time and there are areas around the house where the paint is starting to flake off. I have provided a sample image of what I am describing.



Figure 14-1



Figure 14-2



**Comment 15:**

Minor separating the brick and mortar cracking on the pillar to the left of the front door; recommend repair to prevent further damage.



Figure 15-1



Figure 15-2

The exterior of the home was inspected and reported on with the above information.

(Exterior continued)

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report

## Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing.

The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors. We do not give an estimation of life span.

CONDOMINIUMS: The roof is the responsibility of the Condominium Owners Association and is subject to the Association By-Laws, rules and assessments. We recommend obtaining and reviewing the By-Laws, financial statements, the most recent reserve study and minutes of the meetings of the Association, prior to close.

(Roofing continued)

Inspection Method: From interior only, the exterior was snow covered and not inspected, this includes the chimneys and metal flashing.



Roof Design:	Hip
Roof Covering:	3 Tab Shingle
	Condition: Further Evaluation Required
Approximate Roof Age:	Unknown Due To Snow Cover
Ventilation Present:	Soffit
	Condition: Satisfactory
Vent Stacks:	Plastic
	Condition: Satisfactory
Flashings:	Metal
	Condition: Further Evaluation Required
Soffit and Fascia:	Aluminum
	Condition: Satisfactory
Gutters & Downspouts:	Metal
	Condition: Marginal

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further

(Roofing continued)

inspection or repair issues as it relates to the comments in this inspection report. We do not give an estimation of life span.

## Garage

### Maintenance Tips:

In the winter months, to prevent garage door freeze up or not closing, make sure that there is no water or ice around the base of the garage door.

Garage Type:	Attached
	Condition: Satisfactory
Door Opener:	Chain Drive
	Condition: Satisfactory
Garage Size:	2 Car
Opener Safety Feature:	Light Beam, Force Sensitive
	Condition: Repair or Replace



### Comment 16:

The pressure safety feature on the garage door opener does not work; recommend correcting as it is a safety issue.



Figure 16-1

Garage Firewall:	Drywall with seams taped and mudded
	Condition: Satisfactory
Garage Fire Door Into House:	Yes
	Condition: Satisfactory

(Garage continued)

Exterior Door:	Aluminum Condition: Satisfactory
Windows:	Slider Condition: Repair or Replace
Walls:	Drywall Condition: Satisfactory
Ceiling:	Drywall Condition: Satisfactory
Electrical / GFCI Outlets:	GFCI Not Present Condition: Satisfactory



Comment 17:  
The garage smells heavily of cigarette smoke.



Figure 17-1

# Structure

Inspection of the basement/crawlspace is limited to a visual review of conditions at time of inspection only. Inspections may be limited due to storage of personal property. Weather conditions, storage of personal property, changing foundation, wall conditions, wall finishes, etc. all contribute to inconclusive predictions of foundation performance. While there may not be visible evidence of water intrusion at time of inspection, the inspector CANNOT warranty this or any basement against water entry. Please note it is not the inspectors responsibility to confirm/check for permits for renovation/changes in the home. The presence of mold in concealed areas of the home does NOT fall within the scope of Home Inspection as it is not visibly accessible. If buyer has concerns about mold due to allergies, or suspects the presence of mold, he/ she is advised to consult with a qualified mold inspector or contractor to agree to carry out a more invasive investigation. Air quality testing is a great option to further investigate for mold in concealed areas.

Foundation Types:	Basement
Foundation Material:	Poured Concrete
	Condition: Marginal
Signs of Water Penetration:	Moisture
	Condition: Repair or Replace



## Comment 18:

The in floor furnace ducting has been filled in with concrete except for one register. Upon inspection of the register there is rust in the bottom of it and active water (wet on my hand) present within the ducting. I believe there is a moisture problem under the slab as there is no weeping system. I believe that the water has infiltrated the ducting which is why they filled it in instead of installing a proper weeping system.

I have obtained images from within the old furnace cavity which shows the filled in concrete block and the fact that the flooring vents were 3/4 full of water at some point in time which has caused all of the rust seen in the images.

Recommend asking the home owner for more information.

(Structure continued)



Figure 18-1



Figure 18-2



Figure 18-3



Figure 18-4

(Structure continued)



Figure 18-5



Figure 18-6

Prior Waterproofing:

Surface Patches  
Condition: Satisfactory



Comment 19:  
Signs of previous patch working being done. It is dry at this time.



Figure 19-1

(Structure continued)

Floor Structure:	Concrete Slab Condition: Further Evaluation Required
Wall Structure:	Full Masonry, Wood Frame Condition: Further Evaluation Required
Columns And Bearing Walls:	Columns, Bearing Walls Condition: Satisfactory

The basement, crawlspace or foundation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

(Structure continued)

## Attic

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics; the operation of any readily accessible thermostatic control and the operation of any readily accessible attic ventilation fan.

The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances. Entering attics that are insulated can be dangerous. Attics with insulation cannot be safely inspected due to limited visibility of the framing members, upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl/walk the attic area when they believe it is a danger to them or that they might damage the attic insulation or cause damage. Comments made on the attic are reflected on recent weather conditions, during long periods of dry spells leak are not visible, so are excluded from the responsibility of the home inspection. We can only comment on the conditions at the time of the home inspection.

### Maintenance Tips:

1. Recommend installation of fresh weather stripping annually at attic hatch to reduce build up of warm moist air.
2. Attic should be reviewed at least twice per year to ensure ventilation openings are clear and to ensure development of mold is kept in check. While there may be very little or no evidence of mold build-up in the attic at time of inspection, it can reproduce and spread rapidly should conditions allow it to. Mold can be potentially hazardous and will spread when moisture enters the attic cavity and is not vented to the exterior. Any area of suspected mold should be reviewed by a qualified contractor for analysis and removal.
3. Recommend monitoring performance of roof through regular attic review - water intrusion can occur at any time after the inspection, future

(Attic continued)

performance unknown. It is common to see staining around attic hatch entrance and the hatch itself. This happens when heat escapes into attic hatch in winter, hot air hits the cold air and it turns to condensation. This can be helped by replacing weatherstripping. Sometimes the sheathing can also be affected and in extreme cases mold can start to form.

Attic Entry:	Hallway
Roof Framing Type:	Joist and Rafters
	Condition: Satisfactory
Roof Deck Material:	Plywood
	Condition: Satisfactory
Vent Risers:	PVC
	Condition: Satisfactory
Insulation:	Fiberglass Batts
	Condition: Satisfactory



(Attic continued)



Vapour Barrier Observed:	Yes
Ventilation:	Condition: Satisfactory
	Soffit Vents
	Condition: Satisfactory
Leaking:	Not Present
Methods To Inspect:	From Entry
	Condition: Satisfactory



Comment 20:



Figure 20-1



Figure 20-2

(Attic continued)



Figure 20-3

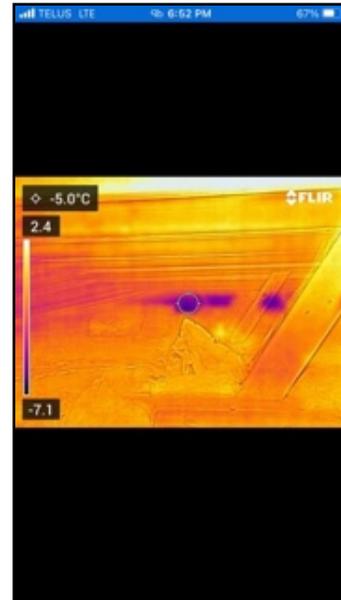


Figure 20-4



Figure 20-5

For Education Purposes:  
Proper ventilation in your attic or roof space is critical to the performance of your roofing material. Life cycle, cost of roofing material, house structure, home system venting, attic condensation, ice dams, ceiling leaks, R value of insulation, energy costs, health of occupants, and so much more can be affected.

(Attic continued)

The attic structure, insulation and ventilation was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Only visible areas can be inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Basement

Stairs / Handrails: Yes  
Condition: Satisfactory

Flooring: Carpet  
Condition: Repair or Replace



Comment 21:  
Staining throughout.



Figure 21-1



Figure 21-2

Walls: Drywall  
Condition: Satisfactory

Ceiling: Drywall  
Condition: Satisfactory

(Basement continued)

Joists:	Conventional 2x10 Framing Condition: Satisfactory
Beams:	Not visible Condition: Further Evaluation Required
Support Posts:	Screw Jacks Condition: Satisfactory
Windows:	Slider Condition: Repair or Replace
Electrical:	Switches / Outlets, Light Source, Smoke Detector, CO Detector Condition: Repair or Replace



Comment 22:  
There are no smoke detectors or CO detectors.

Insulation:	Inaccessible Condition: Further Evaluation Required
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Comment 23:  
There are various areas throughout the basement where there are holes in the walls.

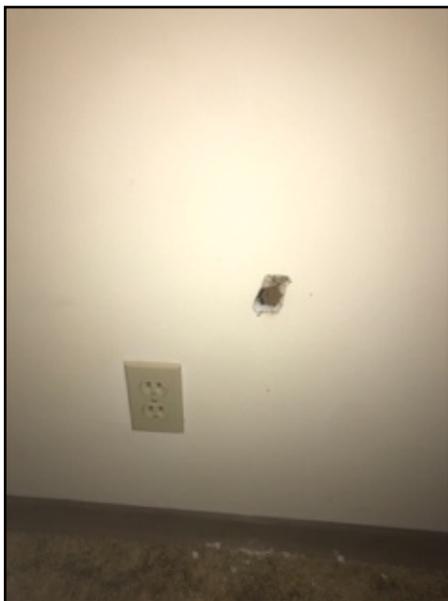


Figure 23-1



Figure 23-2

(Basement continued)



Figure 23-3



Comment 24:  
Signs of rodents.



Figure 24-1

(Basement continued)

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Comment 25:

Unknown water staining in the ceiling of the electrical room. FLIR thermal camera didn't reveal any concerns.



Figure 25-1



Figure 25-2

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Comment 26:

There is no heat in this room.



Figure 26-1

# Bathrooms

The home inspector shall observe function of bathroom components. The inspector cannot be held responsible for future leaks. The home inspection is non-invasive. Moisture cannot be detected behind tiles and other surfaces in wet areas.

Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Bathroom #1

Location:	Upstairs Main Bathroom
Bath Tub:	Recessed
	Condition: Satisfactory



Comment 27:

Maintenance Tip:

As and when required - Suggest all tile edges of the shower walls be caulked and sealed to prevent moisture penetration. All missing/damaged grouting should be replaced. Failure to keep walls sealed can cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring.

Shower:	Stall
	Condition: Repair or Replace
Sink(s):	Double Vanity
	Condition: Repair or Replace

(Bathroom #1 continued)



Comment 28:  
Both taps leak; recommend replacement.



Figure 28-1



Figure 28-2

Toilet:

Standard Tank

Condition: Satisfactory

Bidet:

Not Present

Shower Walls:

Tile

Condition: Repair or Replace

(Bathroom #1 continued)



Comment 29:

The caulking needs to be repaired to prevent moisture damage.



Figure 29-1

Floor:

Carpet and tile

Condition: Satisfactory

Ventilation Type:

Ventilator

Condition: Satisfactory



Comment 30:

Maintenance Tip:

A good test that you can perform occasionally is to hold up one square of toilet paper to ensure your fan's suction can hold it. Should a fan not hold a piece of toilet paper it usually requires cleaning or to have the fan motor serviced/replaced.

GFCI Protection:

Not Present

(Bathroom #1 continued)

**Comment 31:**

For Education Purposes:

A ground-fault circuit interrupter (GFCI) can help prevent electrocution. If a person's body starts to receive a shock, the GFCI senses this and cuts off the power before he/she can get injured.

GFCIs are generally installed where electrical circuits within appliances may accidentally come into contact with water. They are most often found in kitchens, baths, laundry rooms, outside or in the garage. We may suggest GFCI upgrades in areas, these upgrades are suggestions only and in some cases not possible due to the age of the home/panel. For more detail review of electrical issues, we suggest an electrician to review, if required.

Trap/Drain/Supply:	Stainless Steel, Plastic Condition: Satisfactory
Heat Source:	Yes Condition: Satisfactory
Windows:	Casement Condition: Satisfactory

## Bathroom #2

Location:	Main Floor
Sink(s):	Single Vanity Condition: Repair or Replace

(Bathroom #2 continued)



Comment 32:  
The tap is leaking; recommend replacement.



Figure 32-1



Comment 33:  
Broken vanity.



Figure 33-1

Toilet:	Standard Tank
	Condition: Satisfactory
Bidet:	Not Present
Floor:	Tile
	Condition: Repair or Replace

(Bathroom #2 continued)



Comment 34:

The tile is loose and coming off of the bottom of the cabinet.



Figure 34-1

Ventilation Type:

Ventilator

Condition: Satisfactory

GFCI Protection:

Outlets

Condition: Repair or Replace



Comment 35:

The counter plug is within 6' of an open water source and must be gfci protected to prevent electrical shock; recommend replacement.

(Bathroom #2 continued)



Figure 35-1

Traps/Drain/Supply:

Stainless Steel, Plastic

Condition: Satisfactory

Heat Source:

No

Condition: Repair or Replace



Comment 36:

There is no heat source in the half bathroom and there should be; recommend repair.



Figure 36-1

Windows:

Not Present

(Bathrooms continued)

## Bathroom #3

Location:	Primary Bedroom
Bath Tub:	Not Present
Shower:	Stall
	Condition: Repair or Replace



Comment 37:

The shower threshold is loose and needs to be repaired.



Figure 37-1

(Bathroom #3 continued)



**Comment 38:**  
The hot and cold was hooked up in reverse.



Figure 38-1



**Comment 39:**  
The shower head drips when not in use; recommend replacement.



Figure 39-1

(Bathroom #3 continued)

Sink(s):

Single Vanity

Condition: Repair or Replace



Comment 40:

The sink is cracked and needs to be replaced.



Figure 40-1



Figure 40-2

Toilet:

Standard Tank

Condition: Repair or Replace

(Bathroom #3 continued)



Comment 41:  
The toilet is loose and needs to be tightened.



Figure 41-1

Shower Walls:

Tile

Condition: Repair or Replace



Comment 42:  
The caulking needs to be redone in the shower to prevent moisture damage.  
There is also visible mold growing on the caulking.

(Bathroom #3 continued)



Figure 42-1

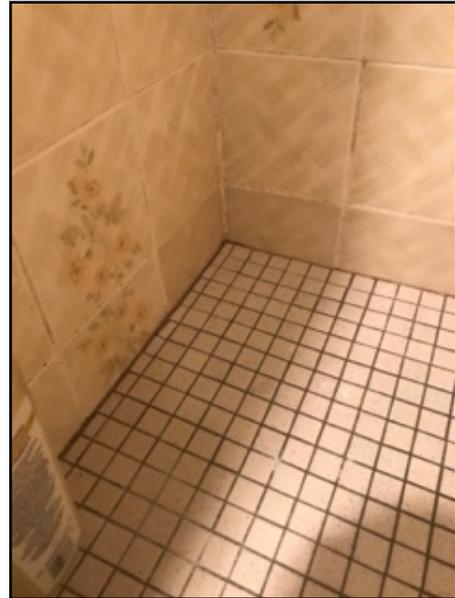


Figure 42-2

Floor:	Carpet Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Not Present
Traps/Drain/Supply:	Stainless Steel, Plastic Condition: Satisfactory
Heat Source:	Yes Condition: Satisfactory
Windows:	Not Present

## Bathroom #4

Location:	Basement
Shower:	Stall Condition: Repair or Replace

(Bathroom #4 continued)



Comment 43:

There are various tiles that are cracked and the shower base needs to be recaulked.



Figure 43-1



Figure 43-2



Comment 44:

The shower door rubs on the sill plate.



Figure 44-1

(Bathroom #4 continued)

Sink(s):

Single Vanity

Condition: Repair or Replace



Comment 45:

The tap leaks and the sinks porcelain is damaged.



Figure 45-1

Toilet:

Standard Tank

Condition: Repair or Replace

(Bathroom #4 continued)



Comment 46:

The toilet is loose and not connected to the floor.



Figure 46-1

Bidet:	Not Present
Shower Walls:	Tile Condition: Repair or Replace
Floor:	Vinyl Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Not Present
Traps/Drain/Supply:	Stainless Steel, Plastic Condition: Satisfactory
Heat Source:	No Condition: Repair or Replace

(Bathroom #4 continued)



Comment 47:

There is no heat source on the bathroom as the ducting has been filled in with cement.



Figure 47-1

Windows:

Not Present

## Bedrooms

### Bedroom #1

Location:	Main Floor
Flooring:	Carpet
	Condition: Satisfactory
Ceiling & Walls:	Drywall/Plaster
	Condition: Satisfactory
Electrical:	Switches and Outlets, Light Fixture
	Condition: Satisfactory
Windows:	Casement
	Condition: Marginal
Doors:	Hinged, Bi-Fold
	Condition: Repair or Replace

(Bedroom #1 continued)



Comment 48:  
Broken mechanism and won't close properly.



Figure 48-1

Heat Source:

Register

Condition: Satisfactory

## Bedroom #2

Location:

Primary Bedroom Upstairs

Flooring:

Carpet

Condition: Satisfactory

Ceiling & Walls:

Drywall/Plaster

Condition: Satisfactory

Electrical:

Switches and Outlets, Light Fixture

Condition: Satisfactory

Windows:

Casement

Condition: Repair or Replace

(Bedroom #2 continued)



Comment 49:

The handle on the left window is broken and won't allow it to be operated, the right window doesn't open and close smoothly.



Figure 49-1

Doors:

Hinged, Bi-Fold

Condition: Repair or Replace



Comment 50:

The door to the bathroom doesn't close properly as it binds on the top.

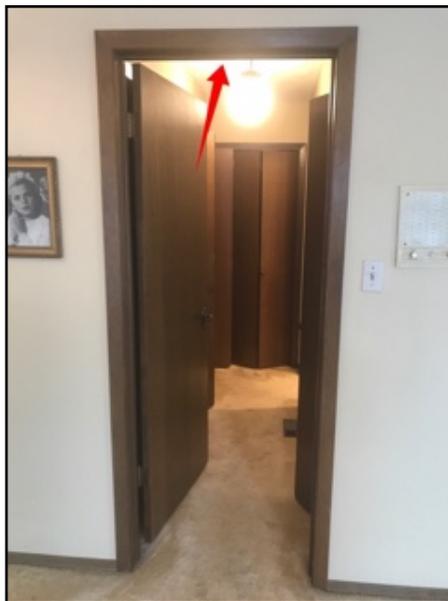


Figure 50-1

(Bedroom #2 continued)



Comment 51:  
The bi-fold door in the closet doesn't close.



Figure 51-1

Heat Source:

Register

Condition: Satisfactory

## Bedroom #3

Location:

Upstairs East Side

Flooring:

Carpet

Condition: Satisfactory

Ceiling & Walls:

Drywall/Plaster

Condition: Satisfactory

Electrical:

Switches and Outlets, Light Fixture

Condition: Satisfactory

Windows:

Casement

Condition: Repair or Replace

(Bedroom #3 continued)



Comment 52:

There is visible moisture on the windows and the window doesn't open and close properly; do not operate. There is a visible and Audible air gap.



Figure 52-1

Doors:	Hinged, Bi-Fold Condition: Satisfactory
Heat Source:	Register Condition: Satisfactory

## Bedroom #4

Location:	Upstairs SE Corner
Flooring:	Carpet Condition: Satisfactory
Ceiling & Walls:	Drywall/Plaster Condition: Satisfactory
Electrical:	Switches and Outlets, Light Fixture Condition: Satisfactory
Windows:	Casement Condition: Repair or Replace

(Bedroom #4 continued)

**Comment 53:**

There is visible moisture on the window and a visible and audible air gap. The window mechanism is also broken and needs to be replaced. Do not open window.

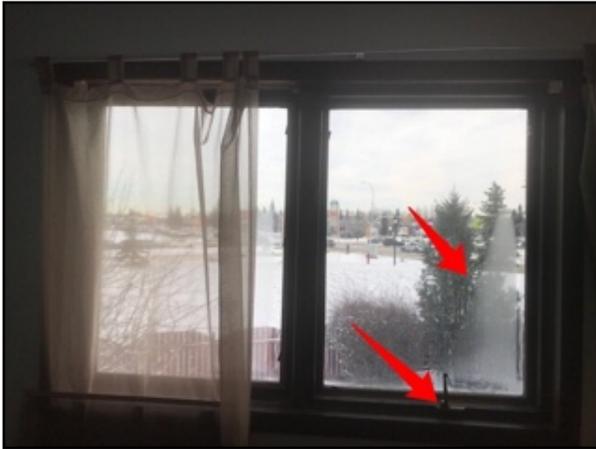


Figure 53-1

Doors:	Hinged, Bi-Fold Condition: Satisfactory
Heat Source:	Register Condition: Satisfactory

## Bedroom #5

Location:	Upstairs South Side
Flooring:	Carpet Condition: Satisfactory
Ceiling & Walls:	Drywall/Plaster Condition: Satisfactory
Electrical:	Switches and Outlets, Light Fixture Condition: Satisfactory
Windows:	Casement Condition: Repair or Replace

(Bedroom #5 continued)

**Comment 54:**

There is visible moisture on the window and a visible and audible air gap. The window mechanism is also broken and needs to be replaced. Do not open window.



Figure 54-1

Doors:	Hinged, Bi-Fold Condition: Satisfactory
Heat Source:	Register Condition: Satisfactory

## Bedrooms Basement

### Bedroom #1

Location:	Basement
Flooring:	Laminate Condition: Satisfactory
Ceiling & Walls:	Drywall/Plaster Condition: Satisfactory
Electrical:	Switches and Outlets, Light Fixture Condition: Satisfactory
Windows:	Slider Condition: Repair or Replace

(Bedroom #1 continued)



Comment 55:  
Won't open.



Figure 55-1

Doors:	Hinged, Bi-Fold Condition: Satisfactory
Heat Source:	Register Condition: Satisfactory

## Kitchen

Cabinets:	Wood Condition: Repair or Replace
-----------	--------------------------------------



Comment 56:  
The cabinets are original to the home and show their wear and tear. The finish is coming off on some doors and drawers and the drawer slides are wearing out; recommend repair and replacement of items needed.

(Kitchen continued)



Figure 56-1



Figure 56-2



Figure 56-3

Countertops:

Granite

Condition: Satisfactory

Sink:

Double

Condition: Repair or Replace

(Kitchen continued)



Comment 57:

Very weak water pressure and the tap can't be switched between spray and constant flow; recommend replacement of faucet.



Figure 57-1

Traps/Drains/Supply:

Stainless Steel, Plastic

Condition: Repair or Replace



Comment 58:

There is excessive rust on the top mount of the garbage disposal which suggests that there is a leak at some point in time.



Figure 58-1

(Kitchen continued)

Electrical Outlets (GFCI): No  
Condition: Repair or Replace



Comment 59:

GFCI need to be put in place near water sources, these are tested using an outlet and GFCI tester.

For Education Purposes:

A ground-fault circuit interrupter (GFCI) can help prevent electrocution. If a person's body starts to receive a shock, the GFCI senses this and cuts off the power before he/she can get injured.

GFCIs are generally installed where electrical circuits within appliances may accidentally come into contact with water. They are most often found in kitchens, baths, laundry rooms, outside or in the garage. We may suggest GFCI upgrades in areas, these upgrades are suggestions only and in some cases not possible due to the age of the home/panel. For more detail review of electrical issues, we suggest an electrician to review, if required.



Comment 60:

The counter plugs in the kitchen are within 6' of an open water source and must be gfcI protected to prevent electrical shock; recommend replacement.



Figure 60-1

Dishwasher High Loop Observed: Yes  
Condition: Satisfactory

(Kitchen continued)

Floors:

Ceramic Tile

Condition: Repair or Replace



Comment 61:

There are cracked tiles throughout the kitchen; recommend replacement.



Figure 61-1



Figure 61-2



Figure 61-3

Walls:

Drywall / Plaster

Condition: Satisfactory

(Kitchen continued)

Ceilings:	Drywall / Plaster Condition: Satisfactory
Windows:	Casement Condition: Repair or Replace



Comment 62:

The kitchen window does not open and close smoothly; recommend repair or replacement.



Figure 62-1

(Kitchen continued)

## Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units.

The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable. Buyer is advised that no warranty is offered on any appliance, they are subject to failure at any time.

Oven:

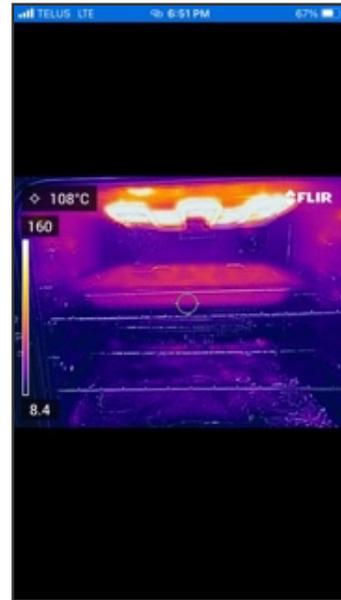


Whirlpool

Condition: Satisfactory



(Appliances continued)



Comment 63:  
The digital display is broken .



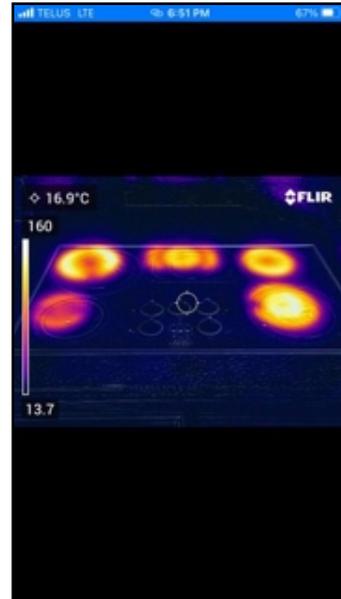
Figure 63-1

(Appliances continued)

Cooktop:



Frigidaire  
Condition: Satisfactory



Range Hood:

Unknown name  
Condition: Further Evaluation Required



Comment 64:  
Maintenance Tip:  
Recommend cleaning filter regularly.



Comment 65:  
The good fan is missing the vent cover, the fan has a slight noise to it suggesting that it is wearing out and it is extremely oily and needs to be cleaned to prevent a grease fire.

(Appliances continued)



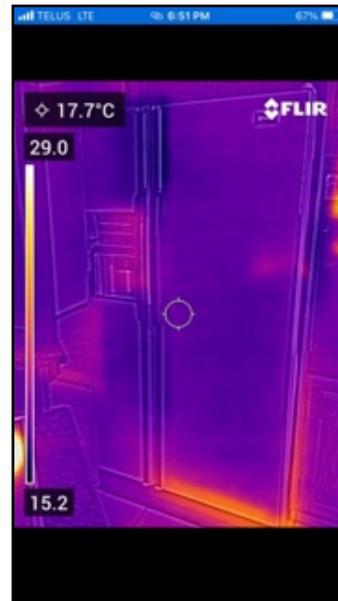
Figure 65-1



Figure 65-2

Refrigerator:

Maytag  
Condition: Marginal



(Appliances continued)



Comment 66:

Our inspection of this item is purely to see if the internal walls are cold. Please note we do not use any special equipment to test these items. Also we DO NOT test water hook ups, water dispensers or icemakers connected to the refrigerators.

(Appliances continued)



Comment 67:  
The fridge is very dirt and smells badly.



Figure 67-1

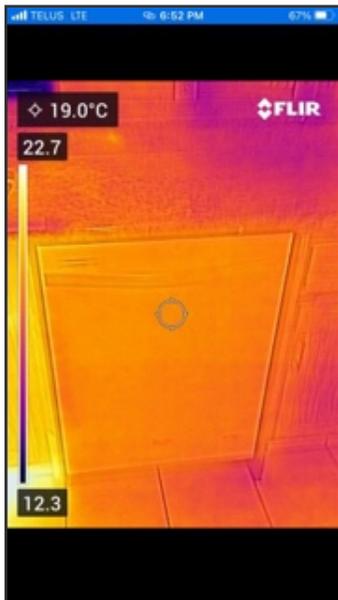
Dishwasher:



Whirlpool  
Condition: Satisfactory



(Appliances continued)



Comment 68:

The dishwasher works at the time of inspection but it is very dirty, smells and needs to be cleaned.



Figure 68-1



Figure 68-2

Microwave:

Not Present

The built-in appliances of the home were inspected and reported on with the

(Appliances continued)

above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Dining Room

Flooring:	Tile Condition: Satisfactory
Ceiling and Walls:	Drywall Condition: Satisfactory
Electrical:	Switches and Outlets, Light Fixture Condition: Satisfactory
Windows:	Casement Condition: Repair or Replace



### Comment 69:

The left window doesn't open due to overgrowth and the right window is very hard to open and close; recommend replacement.



Figure 69-1

Heat Source:	Register Condition: Satisfactory
--------------	-------------------------------------

## Dining Room (not In Kitchen)

Flooring:	Carpet Condition: Satisfactory
Ceiling and Walls:	Drywall Condition: Satisfactory
Electrical:	Switches and Outlets, Light Fixture Condition: Satisfactory
Windows:	Casement Condition: Marginal
Heat Source:	Register Condition: Satisfactory

## Living Room

Flooring:	Carpet Condition: Satisfactory
Ceiling and Walls:	Drywall Condition: Satisfactory
Electrical:	Switches and Outlets, Light Fixture Condition: Satisfactory
Windows:	Bay Condition: Marginal
Doors:	Hinged Condition: Repair or Replace



Comment 70:

This set of doors doesn't close properly due to warped doors and thick carpet; recommend repair.

(Living Room continued)



Figure 70-1

Heat Source: Register  
Condition: Satisfactory

## Living Room Next To Kitchen

Flooring: Carpet  
Condition: Satisfactory

Ceiling and Walls: Drywall  
Condition: Satisfactory

Electrical: Switches and Outlets  
Condition: Satisfactory

Windows: Not Present

Doors: Hinged  
Condition: Satisfactory

Heat Source: Register  
Condition: Satisfactory

# Laundry

Laundry machines are tested through running them through a washing/drying cycle, when hooked up. We do not disconnect the supply hoses to the washer, nor do we operate the valves. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. These can fail at anytime, no warranties or guarantees are given on any appliances in the home.

Location: Main Floor  
Condition: Satisfactory  
Washer: Kenmore  
Condition: Satisfactory

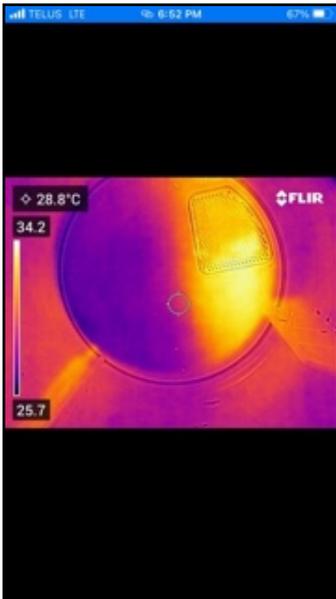
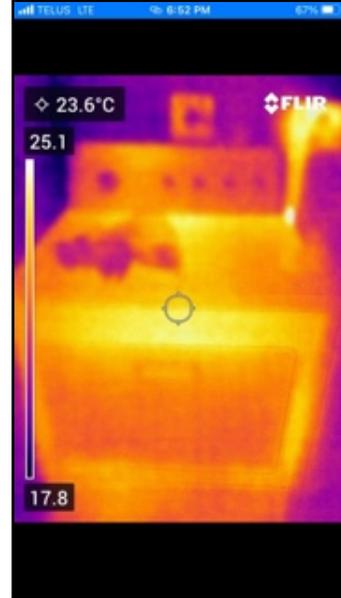


Laundry Hook Ups: Yes  
Condition: Satisfactory

(Laundry continued)

Dryer:

Kenmore  
Condition: Repair or Replace



(Laundry continued)



Comment 71:

There is a hum to the motor which suggests that it isn't balance; recommend repair.



Figure 71-1



Comment 72:

Rust and damaged top.



Figure 72-1

Dryer Venting:

To Exterior

Condition: Repair or Replace

(Laundry continued)



Comment 73:

The dryer vent is an expandable flex hose which causes build up of lint in the ripples of the hose; this is a safety concern. Recommend a general contractor or HVAC mechanic replace the expandable flex hose with a straight pipe.



Figure 73-1

Built In Cabinets:	Yes Condition: Satisfactory
Traps/Drain/Supply:	Plastic Condition: Satisfactory
GFCI Protection:	No Condition: Satisfactory
Floors:	Linoleum Condition: Satisfactory
Walls:	Drywall / Plaster Condition: Satisfactory
Ceiling:	Drywall / Plaster Condition: Satisfactory
Windows:	Not Present

(Laundry continued)

---



Comment 74:

The light is either burnt out or not working.



Figure 74-1

The laundry room was inspected and report on. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

# Electrical

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system.

The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment. It is not the inspectors responsibility to confirm permits for the property.

Type of Service:	Underground
Main Disconnect Location:	Service Panel
Service Panel Location:	Basement
Service Panel Manufacturer:	Stab-Lok
	Condition: Satisfactory
Service Line Material:	Copper
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	100 amps
Service Panel Ground:	Unknown Not Visable
Branch Circuit Wiring:	Non-Metallic Shielded Copper
	Condition: Satisfactory

(Electrical continued)

Overcurrent Protection:	Breakers Condition: Satisfactory
GFCI/AFCI Breakers:	No Condition: Satisfactory
Smoke Detectors:	9 volt Battery Type Condition: Repair or Replace



Comment 75:

Smoke detectors generally only have a life span of 10 years. If age is unknown; recommend replacement.



Comment 76:

Smoke detectors have expired and need to be replaced.

CO Detector: Not Present



Comment 77:

Carbon Monoxide detectors generally have a life span of 7 years. If age is unknown; recommend replacement.

Electrical Meter : Left side  
Condition: Satisfactory



(Electrical continued)



## Comment 78:



Figure 78-1



Figure 78-2

The electrical system of the home was inspected and reported on with the above information. As a generalist, our electrical inspections are limited - if a more advanced inspection is required we recommend contacting a qualified electrician for full review. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Sub Panel

Location:	Basement
Service Line Material:	Copper
Overcurrent Protection:	Breakers
Branch Circuit Wiring:	Non-Metallic Shielded Copper
	Condition: Satisfactory
GFCI/AFCI Breakers:	No
	Condition: Satisfactory

(Sub Panel continued)



Comment 79:



Figure 79-1



Figure 79-2



Figure 79-3

## HVAC (left)

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

HVAC System Type:	Central Split System
Thermostat:	Digital
	Condition: Satisfactory
Thermostat Location:	Hallway



### Comment 80:

Unknown black oil tar leaking from inside the furnace ducting; recommend having a licensed HVAC contract assess the unit to figure out where it is coming from. It is believed that the AC coil is leaking oil.

(HVAC (left) continued)



Figure 80-1



Figure 80-2

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Hallway
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Carrier
Heating Fuel:	Gas
	Condition: Satisfactory
Input BTUs:	80,000
Output BTUs:	74,000

(Heating continued)

Approximate Age:

July 2011

Filter Type:

Disposable

Condition: Repair or Replace



Comment 81:

Filter needs to be replaced.



Figure 81-1

Output Temperature:

45°C

Type of Distribution:

Metal Ducting

Condition: Satisfactory

Burner Chambers:

Annual service is recommended, Suggest having this unit professionally cleaned and tuned to ensure proper and safe operation.

Condition: Satisfactory

(Heating continued)

Exhaust Venting:

Plastic  
Condition: Satisfactory



Humidifier:

Yes  
Condition: Further Evaluation Required



Comment 82:

There was no water flowing to the humidifier during operation.



Figure 82-1

(Heating continued)



Comment 83:



Figure 83-1



Figure 83-2



Figure 83-3



Figure 83-4

(Heating continued)



Figure 83-5

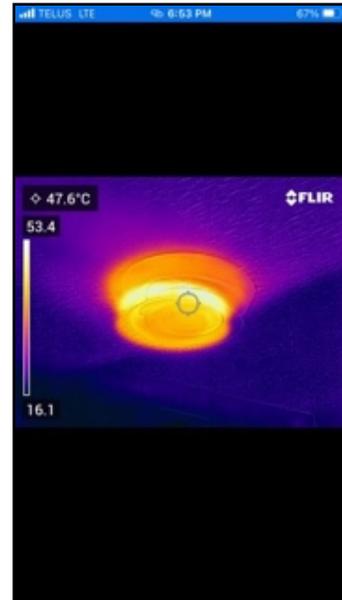


Figure 83-6

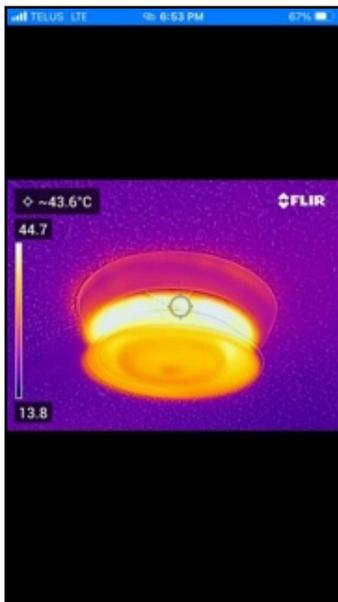


Figure 83-7

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

**Maintenance Tip:**

1. Recommend filters are changed every 2-3 months, unless otherwise stated by the filters manufacture. Replace filter upon possession of the

(Heating continued)

home.

2. Recommend a full clean and service upon possession, then every one-two years by a qualified service professional. This will improve your air quality, reduce dust and extend the life of your furnace.

**Maintenance Tip:**

It is always a good idea to tape (aluminum tape) joints, gaps and holes will reduce heat loss in unwanted areas. It will also provide better air flow from the vents around the home.

## Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:

Electric

Type of Equipment:

Split System

Condition: Further Evaluation Required

Condenser Make:

Unknown, not visible as it is tarped for the winter.



(Cooling continued)

Condenser Size:	Unknown
Condenser Approximate Age:	Unknown
Evaporator Coil Make:	Data Plate Not Present
Evaporator Coil Size:	Data Plate Not Present
Evaporator Coil Approximate Age:	Unknown
Condensate Drainage:	To Floor Drain
	Condition: Satisfactory
AC Output Temperature:	Unknown, Not Tested Due To - 4°C



Comment 84:  
No data plate sticker was visible.



Figure 84-1

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

## HVAC (right)

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

HVAC System Type:	Central Split System
Thermostat:	Digital
	Condition: Satisfactory
Thermostat Location:	Hallway



### Comment 85:

Natural gas pipe is corroded and needs to be replaced; this is a safety concern as a hole can develop and cause a gas leak.

(HVAC (right) continued)



Figure 85-1

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Basement
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Carrier
Heating Fuel:	Gas
	Condition: Satisfactory
Input BTUs:	80,000
Output BTUs:	74000

(Heating continued)

Approximate Age:  
Filter Type:

August 2011  
Disposable  
Condition: Repair or Replace



Comment 86:  
The filter needs to be replaced.



Figure 86-1

Output Temperature:  
Type of Distribution:

44°C  
Metal Ducting  
Condition: Satisfactory

Burner Chambers:

Annual service is recommended, Suggest having this unit professionally cleaned and tuned to ensure proper and safe operation.  
Condition: Satisfactory

Exhaust Venting:

Plastic  
Condition: Satisfactory

(Heating continued)

Humidifier:

Yes

Condition: Repair or Replace



Comment 87:

There is an active water leak; recommend repair.



Figure 87-1

(Heating continued)



Comment 88:



Figure 88-1



Figure 88-2



Figure 88-3



Figure 88-4

(Heating continued)

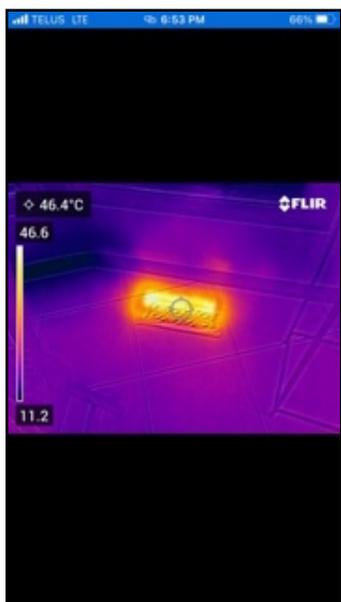


Figure 88-5



Figure 88-6

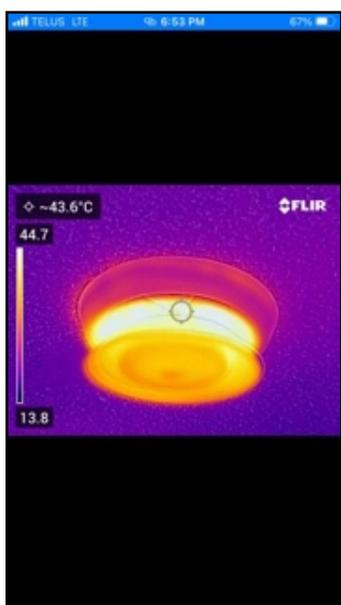


Figure 88-7

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

**Maintenance Tip:**

1. Recommend filters are changed every 2-3 months, unless otherwise stated by the filters manufacture. Replace filter upon possession of the

(Heating continued)

home.

2. Recommend a full clean and service upon possession, then every one-two years by a qualified service professional. This will improve your air quality, reduce dust and extend the life of your furnace.

**Maintenance Tip:**

It is always a good idea to tape (aluminum tape) joints, gaps and holes will reduce heat loss in unwanted areas. It will also provide better air flow from the vents around the home.

# Plumbing

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance.

The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Water Service:	Public
Supply Pipe Material:	Copper
	Condition: Satisfactory
Location of Main Water Shutoff:	At Meter



## Comment 89:

### Maintenance Tip:

Since main shut off valves are operated infrequently, it is not unusual for them to become inoperable over time. They often leak or break when operated after a period of inactivity. We suggest caution when operating shutoffs that have not been turned for a long period of time. All shutoff valves and angle stops should be turned regularly to ensure free movement in case of emergency.

Sewer System:	Public
---------------	--------

(Plumbing continued)

Waste Pipe Material:

ABS Plastic

Condition: Satisfactory

Sump Pump:

Standard Crock

Condition: Further Evaluation Required



Comment 90:

There is a sump pump placed inside of the old furnace venting to pump out the excess water.



Figure 90-1



Figure 90-2

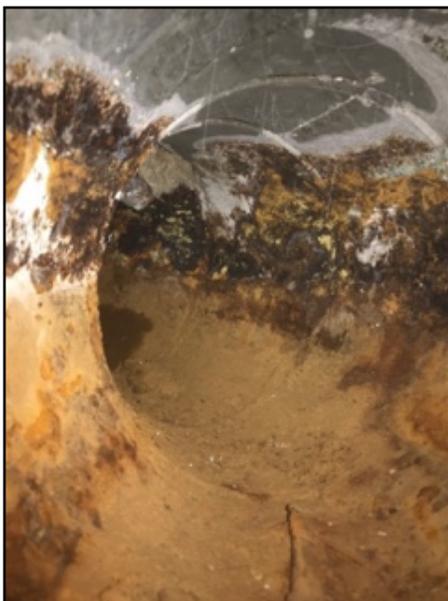


Figure 90-3

(Plumbing continued)

Location of Fuel Shutoff:                      At Meter

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Water Heater

Manufacturer:	John Wood
Fuel:	Natural Gas
Capacity:	30 gal
Approximate Age:	20 Years Old (October 30, 2001)

(Water Heater continued)



Comment 91:

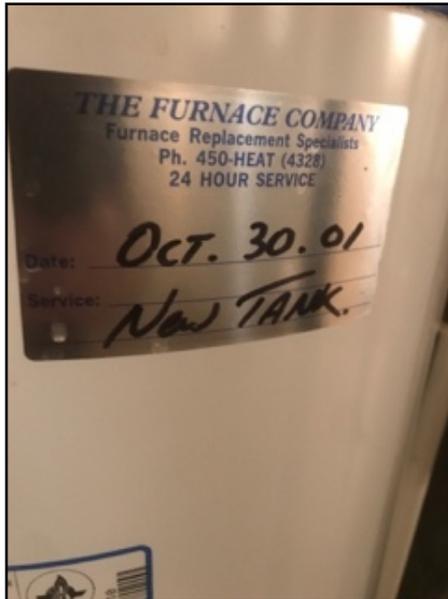


Figure 91-1

Temp & Pressure Relief Valve:	Present With Blow Off Leg Condition: Satisfactory
Fuel Disconnect:	In Same Room
Supply Lines:	Copper Condition: Satisfactory
Combustion Chamber:	Some corrosion observed; recommend cleaning. Condition: Marginal
Venting:	Metal Condition: Satisfactory



Comment 92:

Warning: Children should be kept away from water heater as the high pressure release valve, if disturbed, can cause scalding.

(Water Heater continued)

---



Comment 93:



Figure 93-1



Figure 93-2

# Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

### Maintenance Tip:

In the colder season frost and build up can occur along windows from poor air flow, it is helpful to open up curtains and blinds often to allow proper air flow to minimize frost build up.

Floors:	Tile, Carpet Condition: Repair or Replace
Walls:	Painted Drywall Condition: Satisfactory
Window Types:	Casement, Sliders, Fixed Condition: Repair or Replace
Window Materials:	Wood
Entry Door Types:	Hinged Condition: Satisfactory
Entry Door Materials:	Wood
Fireplace:	Wood Burning Condition: Repair or Replace

(Interior continued)



**Comment 94:**

The fireplace looks lightly used. The gas assist has been disconnected and the flue on the inside isn't working properly and won't close properly high is sucking all of the interior heat up and out the chimney (this can be seen in the FLIR image which was obtained showing the cold cavity). Recommend a WETT certified inspection and repair.

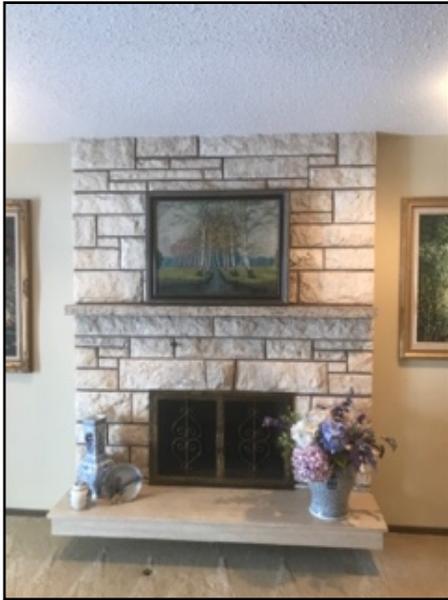


Figure 94-1



Figure 94-2



Figure 94-3

(Interior continued)

Fireplace In Living room Next To Kitchen :

Wood Burning  
Condition: Repair or Replace



Comment 95:

The flue does not open as it is rusted shut; do not use this fireplace. Recommend a WETT certified inspection and cleaning as the fireplace has soot build up.



Figure 95-1

Stairs/Handrails:

Stairs, Handrails  
Condition: Satisfactory

(Interior continued)



**Comment 96:**

There is a visible crack and separating in the ceiling to the hallway on the second floor; recommend repair.



Figure 96-1



Figure 96-2

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## Thermal Imaging (FLIR)

(Thermal Imaging (FLIR) continued)



Comment 97:



Figure 97-1

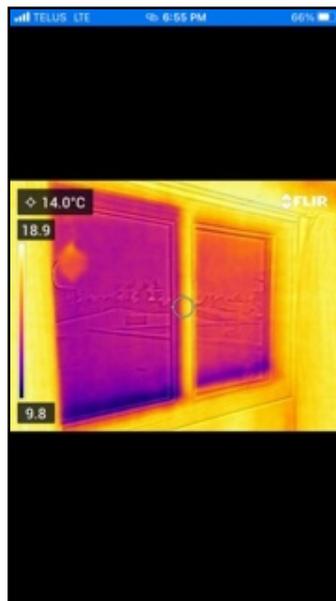


Figure 97-2

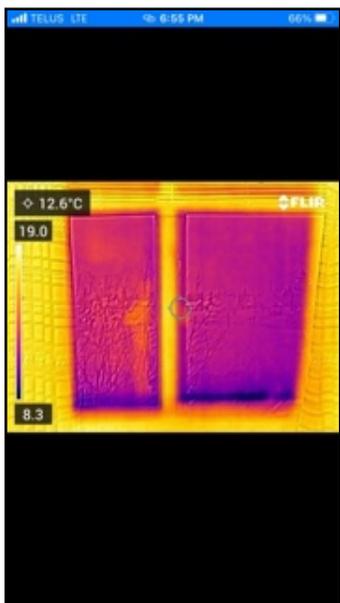


Figure 97-3

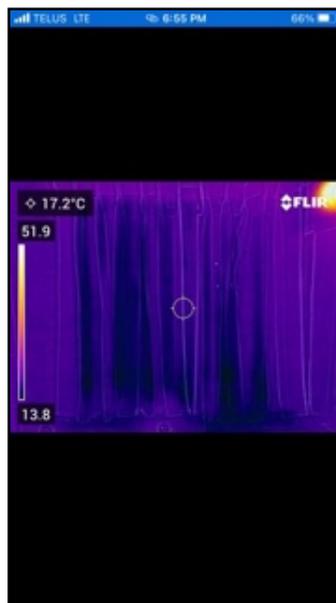


Figure 97-4

(Thermal Imaging (FLIR) continued)

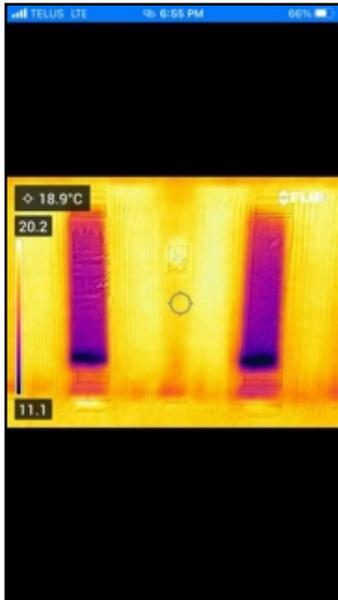


Figure 97-5



Figure 97-6

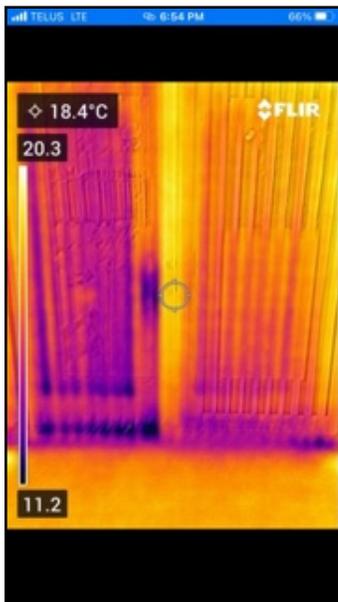


Figure 97-7

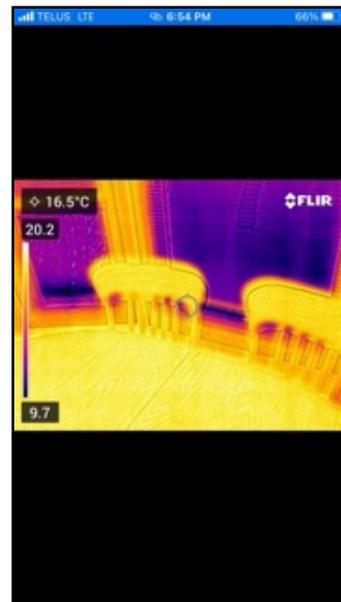


Figure 97-8

(Thermal Imaging (FLIR) continued)



Figure 97-9



Figure 97-10

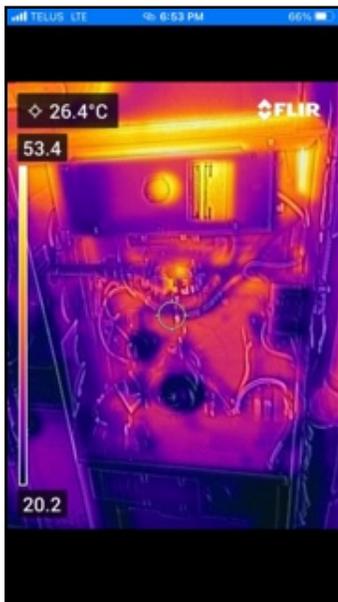


Figure 97-11



Figure 97-12

(Thermal Imaging (FLIR) continued)



Figure 97-13

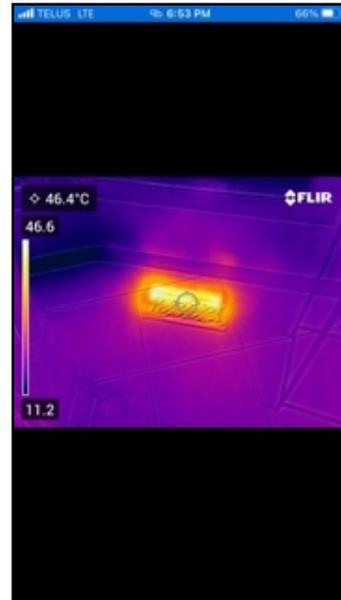


Figure 97-14

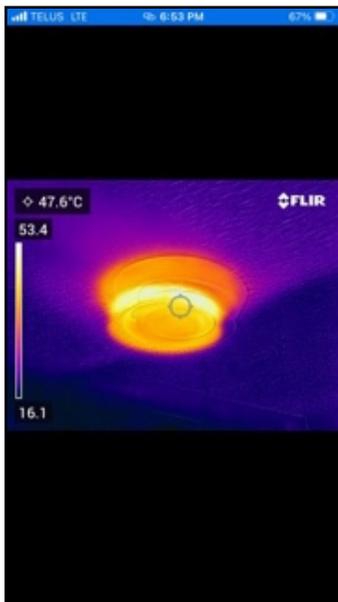


Figure 97-15

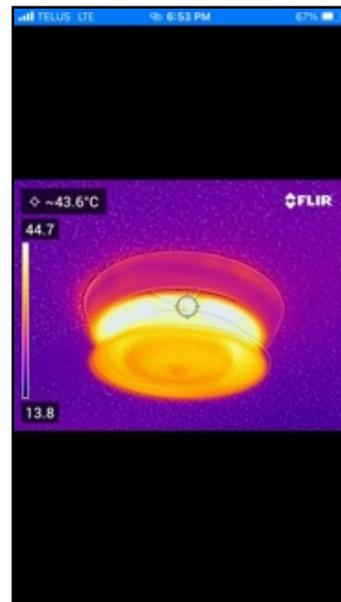


Figure 97-16

(Thermal Imaging (FLIR) continued)



Figure 97-17



Figure 97-18



Figure 97-19

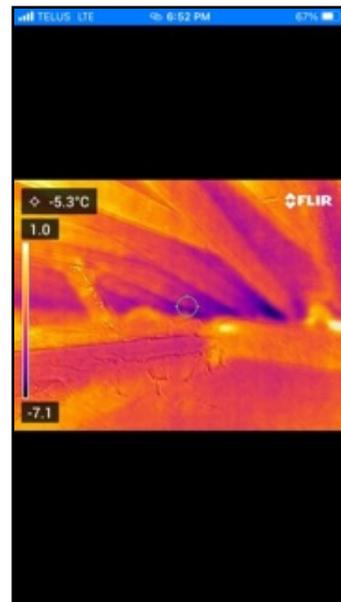


Figure 97-20

(Thermal Imaging (FLIR) continued)



Figure 97-21

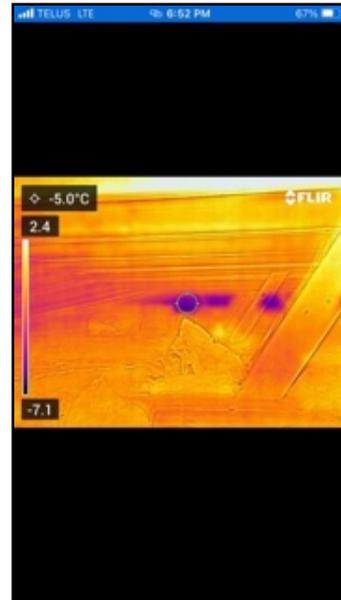


Figure 97-22



Figure 97-23

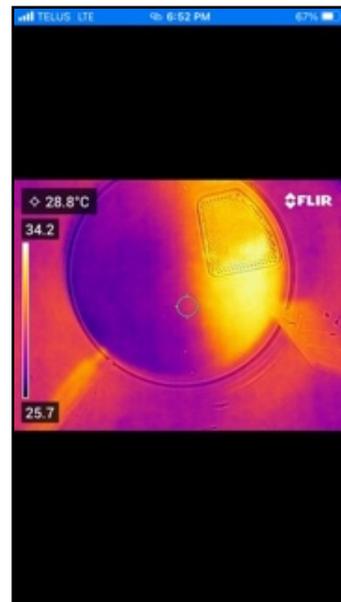


Figure 97-24

(Thermal Imaging (FLIR) continued)

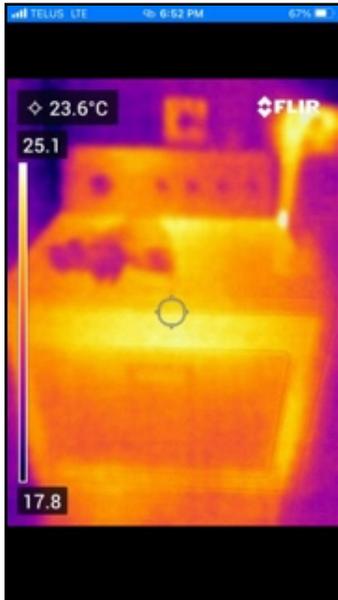


Figure 97-25



Figure 97-26



Figure 97-27



Figure 97-28

(Thermal Imaging (FLIR) continued)



Figure 97-29

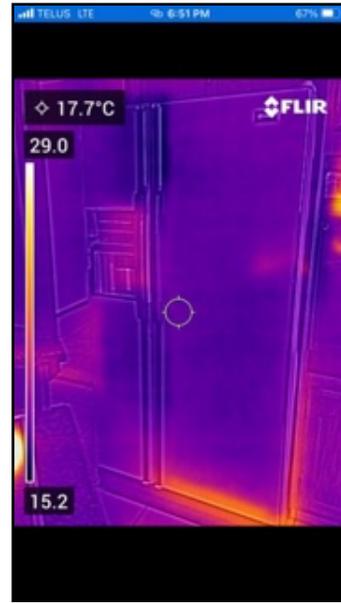


Figure 97-30

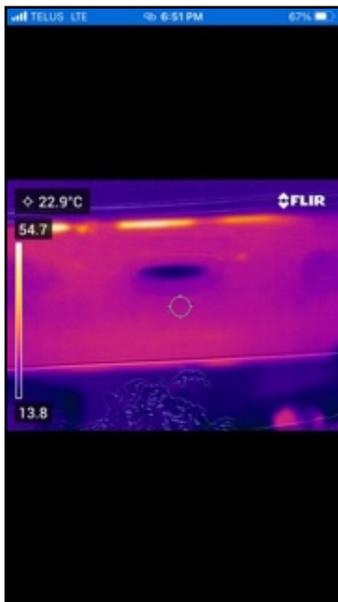


Figure 97-31

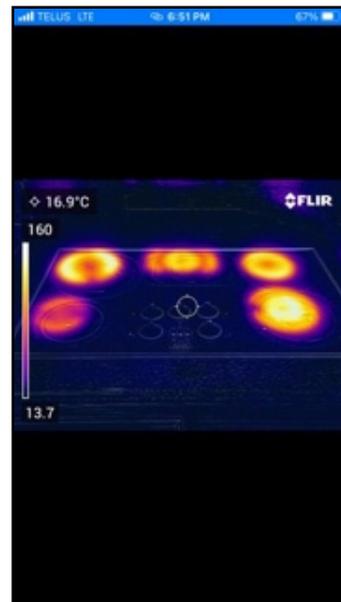


Figure 97-32

(Thermal Imaging (FLIR) continued)



Figure 97-33



Figure 97-34

# Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

## Vegetation

---

1) Comment 1: Vegetation is growing against the structure which can cause premature wear and tear against the structural building and roof. Recommend the bushes be trimmed back from the structure.



Figure 1-1

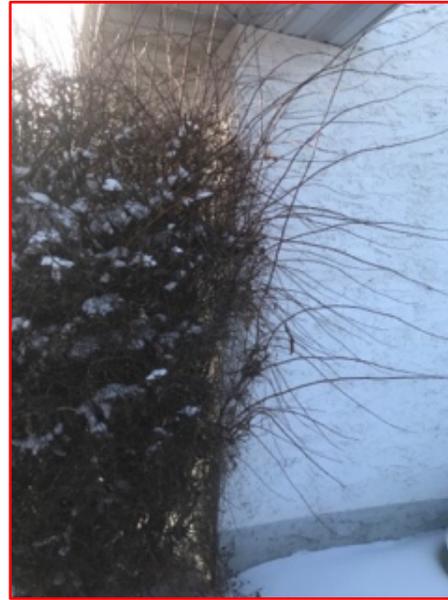


Figure 1-2

(Report Summary continued)



Figure 1-3

## Fencing

---

2) Comment 2: The fence is near its end of its life. There are brick columns near falling over if pushed on and there are sections of wood that are in need of repair.



Figure 2-1



Figure 2-2

(Report Summary continued)



Figure 2-3

### Exterior Covering

---

3) Comment 3: The brick on the house is a veneer however it is very heavy. The bottom left and bottom right and above the garage door has started to crumble and is missing bricks in spot. This needs to be repairs immediately to prevent moisture intrusion, further spalling and separation of the brick veneer.



Figure 3-1



Figure 3-2

(Report Summary continued)



Figure 3-3



Figure 3-4



Figure 3-5

4) Comment 4: The keystone brick is loose in the Center; this holds the entire arch together. Without this properly sound the brick can fall out injuring someone and cause a collapse of the arc; recommend immediate repair.

Upper left applies as well.

(Report Summary continued)



Figure 4-1



Figure 4-2

5) Comment 5: The brick to the upper right of the door has cracked through the brick and not around the brick in the mortar joint; this indicates a structural shift in the brick veneer; recommend repair from a brick mason.



Figure 5-1



Figure 5-2

(Report Summary continued)

## Windows

---

6) Comment 7: I have taken one photo to represent the condition of the exterior of the wood windows. Though not rotten, all windows need to be scraped and painted to prevent further damage and moisture intrusion.



Figure 7-1

## Balconies

---

7) Comment 8: The handle to the vent window is loose and coming off.



Figure 8-1

(Report Summary continued)

Exterior

---

8) Comment 9: The metal lintel above the front door and garage door is starting to rust; recommend painting to prevent just from occurring and compromising the steel lintils.



Figure 9-1



Figure 9-2

9) Comment 10: The right pillar has shifted and sunk which has caused the brick to pull away from the house; this is a safety concern and could fall on someone; recommend immediate repair.

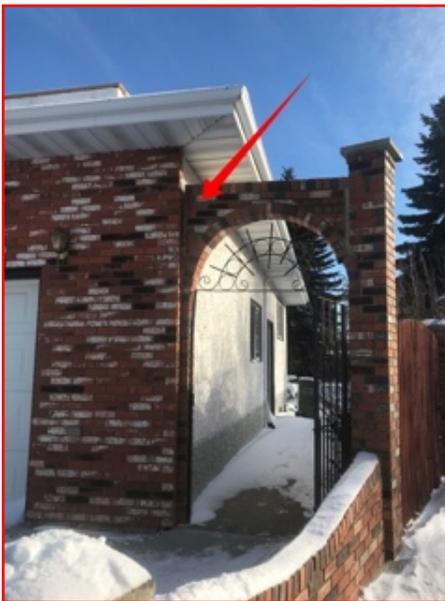


Figure 10-1



Figure 10-2

(Report Summary continued)



Figure 10-3

10) Comment 11: The se corner of the garage has had repair to it. There is a hole right below where the footing should be which suggests there can be structural movement below. Some repair has been attempted but it has not held together; recommend further proper repair.



Figure 11-1



Figure 11-2

(Report Summary continued)

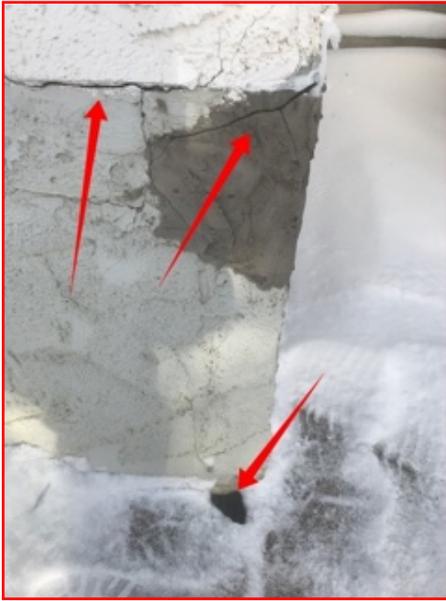


Figure 11-3

11) Comment 12: Recommend caulking to prevent moisture intrusion.



Figure 12-1



Figure 12-2

(Report Summary continued)



Figure 12-3

12) Comment 13: I have provided a sample of the cracks in the parging around the house; recommend repair of the parging to prevent moisture intrusion.



Figure 13-1



Figure 13-2

(Report Summary continued)



Figure 13-3

13) Comment 14: The stucco has been painted over at some point in time and there are areas around the house where the paint is starting to flake off. I have provided a sample image of what I am describing.



Figure 14-1



Figure 14-2

14) Comment 15: Minor separating the brick and mortar cracking on the pillar to the left of the front door; recommend repair to prevent further damage.

(Report Summary continued)



Figure 15-1



Figure 15-2

### Opener Safety Feature

15) Comment 16: The pressure safety feature on the garage door opener does not work; recommend correcting as it is a safety issue.



Figure 16-1

(Report Summary continued)

## Garage

---

16) Comment 17: The garage smells heavily of cigarette smoke.



Figure 17-1

## Signs of Water Penetration

---

17) Comment 18: The in floor furnace ducting has been filled in with concrete except for one register. Upon inspection of the register there is rust in the bottom of it and active water (wet on my hand) present within the ducting. I believe there is a moisture problem under the slab as there is no weeping system. I believe that the water has infiltrated the ducting which is why they filled it in instead of installing a proper weeping system.

I have obtained images from within the old furnace cavity which shows the filled in concrete block and the fact that the flooring vents were 3/4 full of water at some point in time which has caused all of the rust seen in the images.

Recommend asking the home owner for more information.

(Report Summary continued)



Figure 18-1



Figure 18-2



Figure 18-3



Figure 18-4

(Report Summary continued)



Figure 18-5

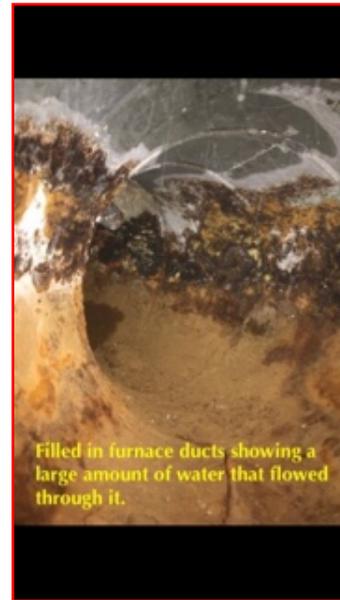


Figure 18-6

### Prior Waterproofing

18) Comment 19: Signs of previous patch working being done. It is dry at this time.



Figure 19-1

(Report Summary continued)

## Flooring

---

19) Comment 21: Staining throughout.



Figure 21-1



Figure 21-2

## Electrical

---

20) Comment 22: There are no smoke detectors or CO detectors.

## Basement

---

21) Comment 23: There are various areas throughout the basement where there are holes in the walls.

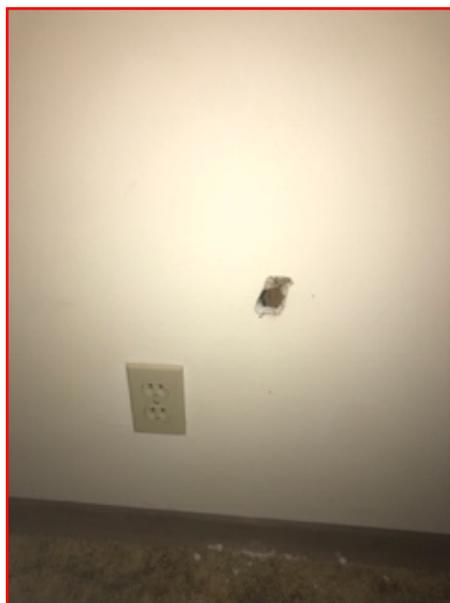


Figure 23-1



Figure 23-2

(Report Summary continued)



Figure 23-3

22) Comment 24: Signs of rodents.



Figure 24-1

23) Comment 25: Unknown water staining in the ceiling of the electrical room. FLIR thermal camera didn't reveal any concerns.

(Report Summary continued)



Figure 25-1



Figure 25-2

24) Comment 26: There is no heat in this room.



Figure 26-1

(Report Summary continued)

### Sink(s)

---

25) Comment 28: Both taps leak; recommend replacement.



Figure 28-1



Figure 28-2

### Shower Walls

---

26) Comment 29: The caulking needs to be repaired to prevent moisture damage.



Figure 29-1

(Report Summary continued)

Sink(s)

---

27) Comment 32: The tap is leaking; recommend replacement.



Figure 32-1

28) Comment 33: Broken vanity.



Figure 33-1

(Report Summary continued)

Floor

---

29) Comment 34: The tile is loose and coming off of the bottom of the cabinet.



Figure 34-1

GFCI Protection

---

30) Comment 35: The counter plug is within 6' of an open water source and must be gfcı protected to prevent electrical shock; recommend replacement.



Figure 35-1

(Report Summary continued)

### Heat Source

---

31) Comment 36: There is no heat source in the half bathroom and there should be; recommend repair.



Figure 36-1

(Report Summary continued)

## Shower

---

32) Comment 37: The shower threshold is loose and needs to be repaired.



Figure 37-1

33) Comment 39: The shower head drips when not in use; recommend replacement.



Figure 39-1

(Report Summary continued)

### Sink(s)

---

34) Comment 40: The sink is cracked and needs to be replaced.



Figure 40-1



Figure 40-2

### Toilet

---

35) Comment 41: The toilet is loose and needs to be tightened.



Figure 41-1

(Report Summary continued)

### Shower Walls

---

36) Comment 42: The caulking needs to be redone in the shower to prevent moisture damage. There is also visible mold growing on the caulking.



Figure 42-1

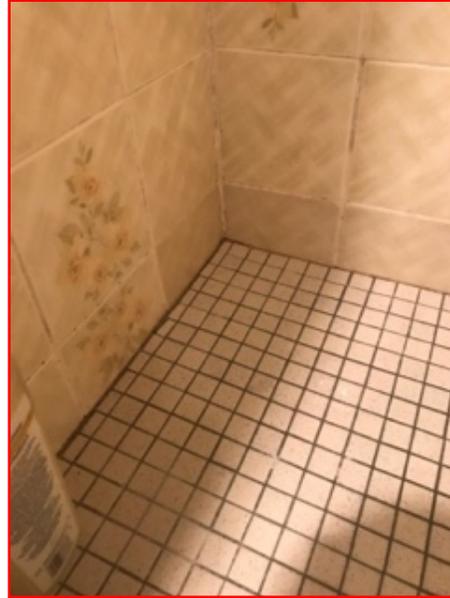


Figure 42-2

### Shower

---

37) Comment 43: There are various tiles that are cracked and the shower base needs to be recaulked.



Figure 43-1



Figure 43-2

(Report Summary continued)

38) Comment 44: The shower door rubs on the sill plate.



Figure 44-1

### Sink(s)

---

39) Comment 45: The tap leaks and the sinks porcelain is damaged.



Figure 45-1

(Report Summary continued)

## Toilet

---

40) Comment 46: The toilet is loose and not connected to the floor.



Figure 46-1

## Heat Source

---

41) Comment 47: There is no heat source on the bathroom as the ducting has been filled in with cement.



Figure 47-1

(Report Summary continued)

## Doors

---

42) Comment 48: Broken mechanism and won't close properly.



Figure 48-1

## Windows

---

43) Comment 49: The handle on the left window is broken and won't allow it to be operated, the right window doesn't open and close smoothly.



Figure 49-1

(Report Summary continued)

## Doors

---

44) Comment 50: The door to the bathroom doesn't close properly as it binds on the top.



Figure 50-1

45) Comment 51: The bi-fold door in the closet doesn't close.



Figure 51-1

(Report Summary continued)

## Windows

---

46) Comment 52: There is visible moisture on the windows and the window doesn't open and close properly; do not operate. There is a visible and Audible air gap.



Figure 52-1

## Windows

---

47) Comment 53: There is visible moisture on the window and a visible and audible air gap. The window mechanism is also broken and needs to be replaced. Do not open window.

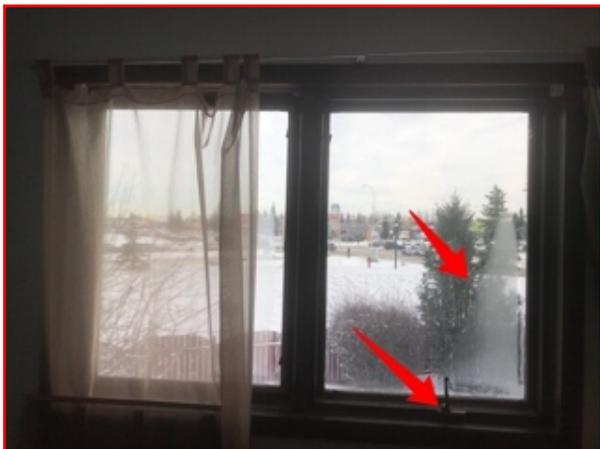


Figure 53-1

(Report Summary continued)

## Windows

---

48) Comment 54: There is visible moisture on the window and a visible and audible air gap. The window mechanism is also broken and needs to be replaced. Do not open window.



Figure 54-1

## Windows

---

49) Comment 55: Won't open.



Figure 55-1

(Report Summary continued)

### Cabinets

---

50) Comment 56: The cabinets are original to the home and show their wear and tear. The finish is coming off on some doors and drawers and the drawer slides are wearing out; recommend repair and replacement of items needed.



Figure 56-1



Figure 56-2



Figure 56-3

(Report Summary continued)

## Sink

---

51) Comment 57: Very weak water pressure and the tap can't be switched between spray and constant flow; recommend replacement of faucet.



Figure 57-1

## Traps/Drains/Supply

---

52) Comment 58: There is excessive rust on the top mount of the garbage disposal which suggests that there is a leak at some point in time.



Figure 58-1

(Report Summary continued)

### Electrical Outlets (GFCI)

---

53) Comment 60: The counter plugs in the kitchen are within 6' of an open water source and must be gfci protected to prevent electrical shock; recommend replacement.



Figure 60-1

### Floors

---

54) Comment 61: There are cracked tiles throughout the kitchen; recommend replacement.



Figure 61-1



Figure 61-2

(Report Summary continued)



Figure 61-3

## Windows

---

55) Comment 62: The kitchen window does not open and close smoothly; recommend repair or replacement.



Figure 62-1

(Report Summary continued)

Oven

---

56) Comment 63: The digital display is broken .



Figure 63-1

Range Hood

---

57) Comment 65: The good fan is missing the vent cover, the fan has a slight noise to it suggesting that it is wearing out and it is extremely oily and needs to be cleaned to prevent a grease fire.



Figure 65-1

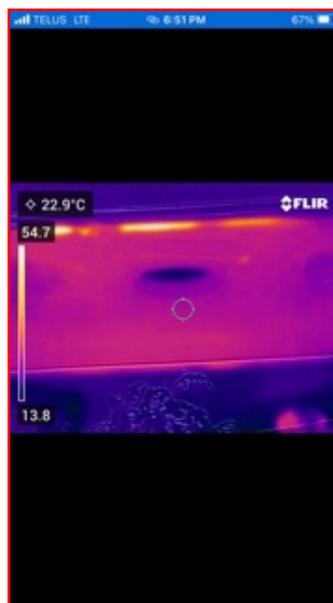


Figure 65-2

(Report Summary continued)

## Dishwasher

---

58) Comment 68: The dishwasher works at the time of inspection but it is very dirty, smells and needs to be cleaned.



Figure 68-1



Figure 68-2

## Windows

---

59) Comment 69: The left window doesn't open due to overgrowth and the right window is very hard to open and close; recommend replacement.



Figure 69-1

(Report Summary continued)

## Doors

---

60) Comment 70: This set of doors doesn't close properly due to warped doors and thick carpet; recommend repair.



Figure 70-1

## Dryer

---

61) Comment 71: There is a hum to the motor which suggests that it isn't balance; recommend repair.



Figure 71-1

62) Comment 72: Rust and damaged top.

(Report Summary continued)



Figure 72-1

### Dryer Venting

63) Comment 73: The dryer vent is an expandable flex hose which causes build up of lint in the ripples of the hose; this is a safety concern. Recommend a general contractor or HVAC mechanic replace the expandable flex hose with a straight pipe.



Figure 73-1

(Report Summary continued)

## Laundry

---

64) Comment 74: The light is either burnt out or not working.



Figure 74-1

## Smoke Detectors

---

65) Comment 76: Smoke detectors have expired and need to be replaced.

## HVAC (left)

---

66) Comment 80: Unknown black oil tar leaking from inside the furnace ducting; recommend having a licensed HVAC contract assess the unit to figure out where it is coming from. It is believed that the AC coil is leaking oil.



Figure 80-1



Figure 80-2

(Report Summary continued)

### Filter Type

---

67) Comment 81: Filter needs to be replaced.



Figure 81-1

### Humidifier

---

68) Comment 82: There was no water flowing to the humidifier during operation.



Figure 82-1

(Report Summary continued)

HVAC (left): Cooling

---

69) Comment 84: No data plate sticker was visible.



Figure 84-1

HVAC (right)

---

70) Comment 85: Natural gas pipe is corroded and needs to be replaced; this is a safety concern as a hole can develop and cause a gas leak.



Figure 85-1

(Report Summary continued)

### Filter Type

---

71) Comment 86: The filter needs to be replaced.



Figure 86-1

### Humidifier

---

72) Comment 87: There is an active water leak; recommend repair.



Figure 87-1

(Report Summary continued)

### Sump Pump

73) Comment 90: There is a sump pump placed inside of the old furnace venting to pump out the excess water.



Figure 90-1



Figure 90-2

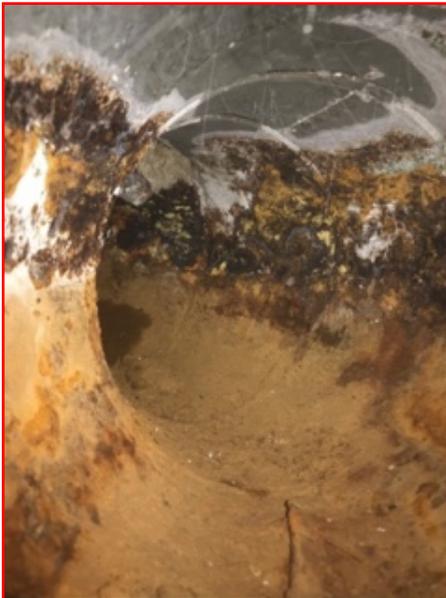


Figure 90-3

(Report Summary continued)

## Fireplace

74) Comment 94: The fireplace looks lightly used. The gas assist has been disconnected and the flue on the inside isn't working properly and won't close properly high is sucking all of the interior heat up and out the chimney (this can be seen in the FLIR image which was obtained showing the cold cavity). Recommend a WETT certified inspection and repair.

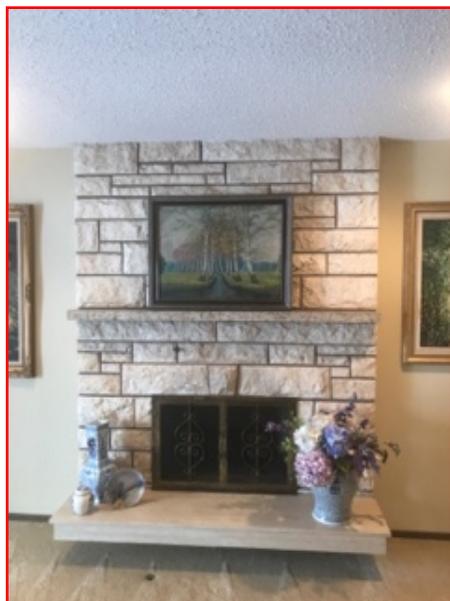


Figure 94-1



Figure 94-2

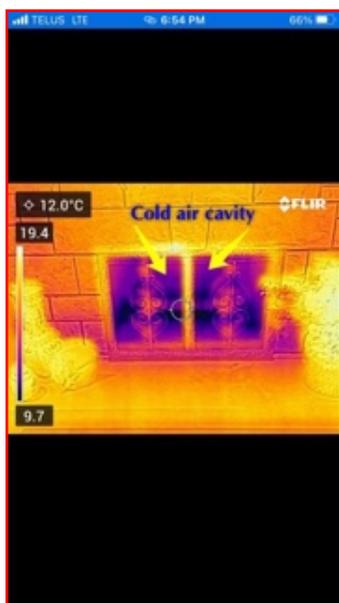


Figure 94-3

(Report Summary continued)

### Fireplace In Living room Next To Kitchen

75) Comment 95: The flue does not open as it is rusted shut; do not use this fireplace. Recommend a WETT certified inspection and cleaning as the fireplace has soot build up.



Figure 95-1

### Interior

76) Comment 96: There is a visible crack and separating in the ceiling to the hallway on the second floor; recommend repair.



Figure 96-1



Figure 96-2